

Architectural Guidelines: Section B



Another proud project by >>

Basfour 2994 PTY





URBAN, ARCHITECTURAL AND LANDSCAPE GUIDELINES

2016/10/17_REV_5

Annexure A : Introduction and Plan submission

Compiled by Property Commerce Architects

Section B: Residential 1 and General Residential 3

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1.

BUILDING LINES , GREEN ZONES AND "BUILD TO" LINES

1.1

Side and rear boundaries:

Res 1, Res 3,:

A building line of 2m will apply to all side and rear boundaries. Free standing walls without a solid roof may encroach upon the building line and if the height requirements are within the constraints of the Local Authority.

1.2

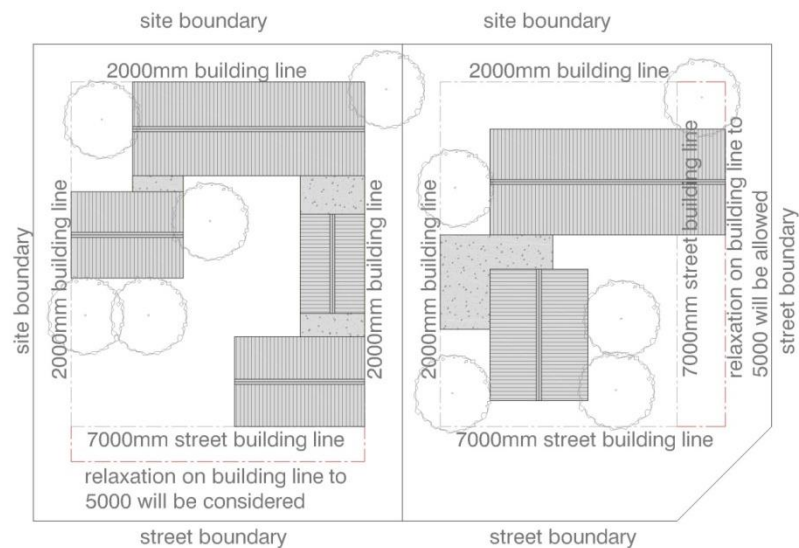
Street boundaries:

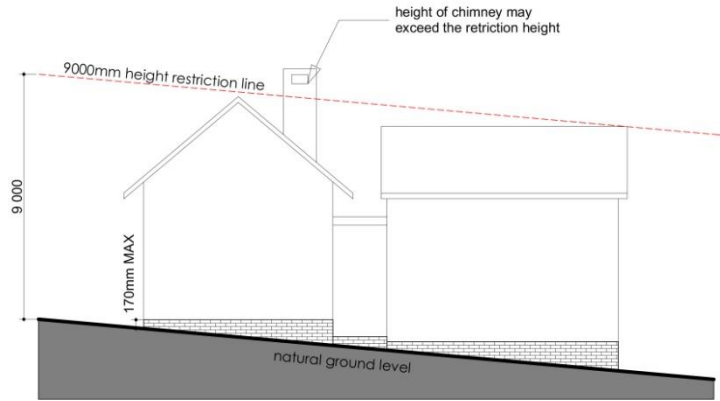
Res 1, Res 3:

A building line of 7m will apply to all street boundaries, with relaxation to 5m considered. If it is a corner stand, the 7m is applicable to one boundary and the other street boundary will relaxed to 5m. Free standing walls without a solid roof may encroach upon the building line and if the height requirements are within the constraints of the Local Authority.

1.3

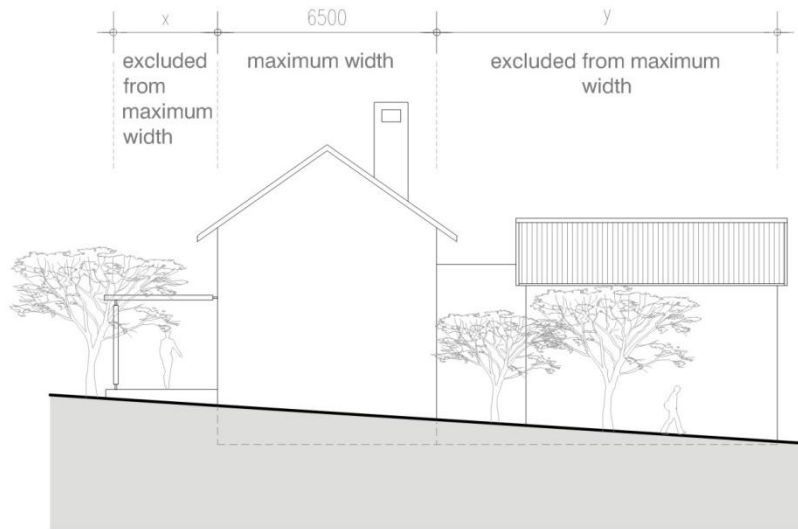
Diagram indicating building lines:



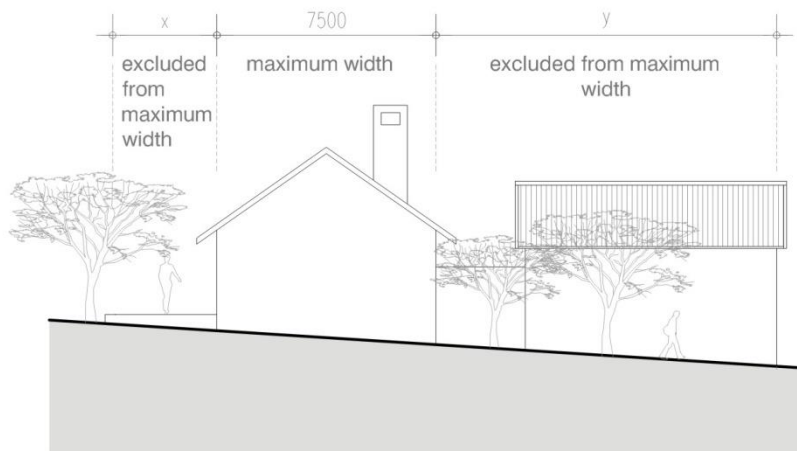
| | | |
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| | 1.4 | <p>Residential stands adjacent to green zones:</p> <p>It is compulsory for all stands next to green zones to position the building footprint as far away from the green zone as possible, within the constraints of the street building line limitation.</p> |
| | 1.5 | <p>Important note:</p> <p>Any additional requirements for individual stands, relating to servitudes, drainage servitudes, electrical servitudes or any such constraints as stipulated in the Bloemfontein Town Planning Scheme No 1 of 1954 and contained in the Conditions of Establishment, will override building lines as described above and must be adhered to. It is the responsibility of the owner or his architect (if delegated to) to ensure all known servitudes are identified and that there is no contradictions with prescribed building lines.</p> |
| 2. | | HEIGHT RESTRICTIONS & PROPORTIONS |
| | 2.1 | <p>Height restriction: 2 storeys:</p> <p>No part of the structure may exceed a height restriction line of 9 meters for residential stands. This is a 9 meter offset line that runs parallel to the natural ground level taken and any particular point or any direction on the site (in section). This excludes chimneys, light shafts and wind catchers. The area of chimneys, light shafts or wind catchers, as seen from above, may not exceed 10 % of the covered footprint. The latter may also not exceed a height restriction of 9.5m, calculated in the same manner as described in this paragraph.</p> <p>In order to avoid monotonous design, it is recommended that the roofline be fragmented and not to be all on the same height.</p> <p>The WODAC reserves the right to reject the proposal should any portion of the building drastically affect the view or privacy of any neighbour, although it is within the set parameters.</p>  <p>Building Height limitations for residential stands.</p> |
| | 2.2 | Building width: |

No part of the building, over the short distance, may exceed 6.5 meters in width for residential 1 stands (single and double storey), 7.5 meters for single storey general residential 3 (6.5meters maximum applicable for double storey). IOW from wall plate to wall plate, measured from outer face of wall to outer face.

A lean to or flat concrete roof may be attached to the building below wall plate level.



Building width restrictions for residential 1 stands (double and single storey).

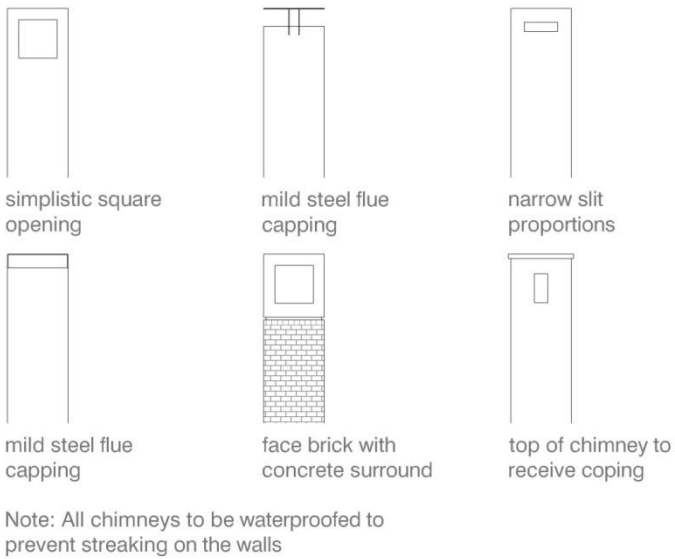


Building width restrictions for residential 3 stands (single storey only – if double storey, 6.5meter is applicable).

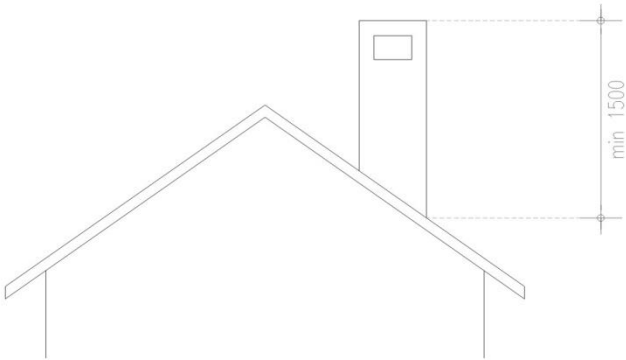
2.3

Chimneys:

Chimneys must be simplistic in form, preferably rectilinear – see examples. Round steel pipes will be permitted but it is critical that installation is perfect – WODAC reserves the right to ask owners to remove or rectify if this is not the case.



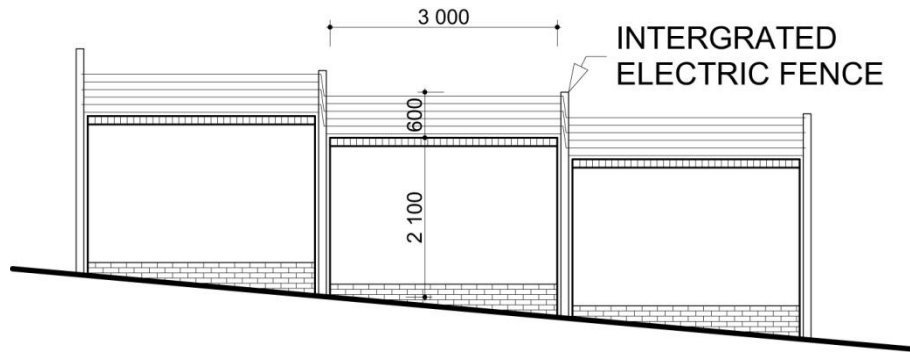
Recommended Chimney shapes.



Chimneys must have a minimum length of 1.5 meters above the roof line taken from the highest point of intersection. Refer to NBR for required regulations.

| | | |
|----|-----|--|
| 3. | | MAXIMUM COVERAGE, FLOOR AREA RATIO (FAR) AND FOOTPRINT |
| | 3.1 | The covered footprint of the house (as viewed from above) may not exceed 50% of the stand size for Res1 stands and 40% for Res 3 stands. For coverage calculations see Bloemfontein Town Planning Scheme No1 of 1954 (as amended). |
| | 3.2 | The FAR may not exceed 0.66 for Res 1 stands and 0.4 for Res 3 stands. For FAR calculations see Bloemfontein Town Planning Scheme No1 of 1954 (as amended). |
| | 3.3 | The covered first floor footprint may not exceed 80% of the covered ground floor footprint, including garage. For the part of the house without the garage, the first floor may not exceed 90% of the area of the ground floor (covered area). |

| | | | |
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| 4. | | | MINIMUM SIZE OF BUILDINGS |
| | 4.1 | | General Residential 3 > 80 square meters excluding outbuildings (garage etc.). |
| | 4.2 | | Single Residential 1 > 150 square meters excluding outbuildings (garage etc.). |
| 5. | | | LANDSCAPING AND GARDENS |
| | 5.1 | | Owners are required to only plant species endemic to the site, and or according to the additional plant, tree and vegetation list as supplied by the landscape architect. No palm trees will be permitted. |
| | 5.2 | | Cut and fill operations should be minimized and excavations may not, in any way, impact on any area beyond the stand boundaries. |
| | 5.3 | | No plants that are not endemic to the greater Free State region may be introduced, unless otherwise stipulated in detailed Landscape Architectural Guidelines. |
| | 5.4 | | Kikuyu grass will only be allowed within the confines of the erven. No plants listed in the Department of the Environment's list of prohibited plants will be allowed. |
| | 5.5 | | Refer to Landscape Plan |
| | 5.6 | | Storm water originating from a stand is the responsibility of the owner and storm water management details must be indicated on the plans. |
| | 5.7 | | During construction, a 2 m high temporary protective screen made from green shade netting must be erected around the building footprint area at a maximum distance of 1.5m around the proposed outer perimeter of the house. This is to protect the natural vegetation and also to prevent dust and sand pollution in case of strong winds. A temporary aesthetic approval must be given to show how this will be done. |
| | 5.8 | | All of the above landscaping rules to be read in conjunction with the detailed Landscape Architectural Guidelines. |
| 6. | | | BOUNDARY WALLS/FENCES, SCREEN WALLS, GATES & SCREENS |
| | 6.1 | 6.1.1 | Internal boundary walls: The intention is to keep boundary walls simple in design, cost effective and understated, not to compete with the house designs, but rather to become back ground elements of the design. Electric fences must be intergrade into the design and not off the shelf standards. Internal boundary walls may not exceed 2.1m in height (if on slope, the average height must not exceed 2.1m over 3 meter intervals such as between expansions joints or the step in the wall). |

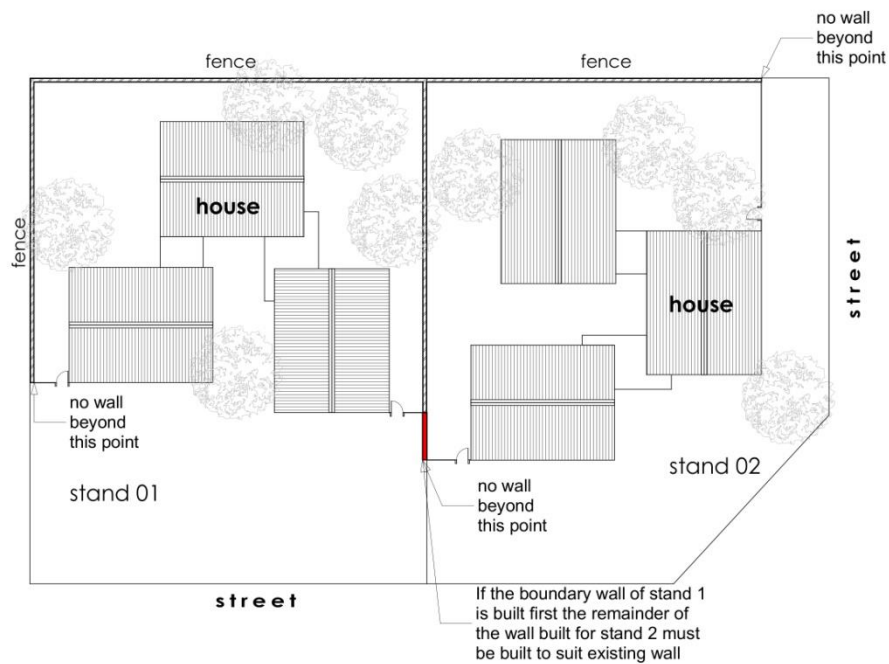


Permissible boundary wall height.

Internal boundary walls higher than 1 meter may not be constructed beyond the front (street face) of the adjoining part of the building nearest to the boundary:

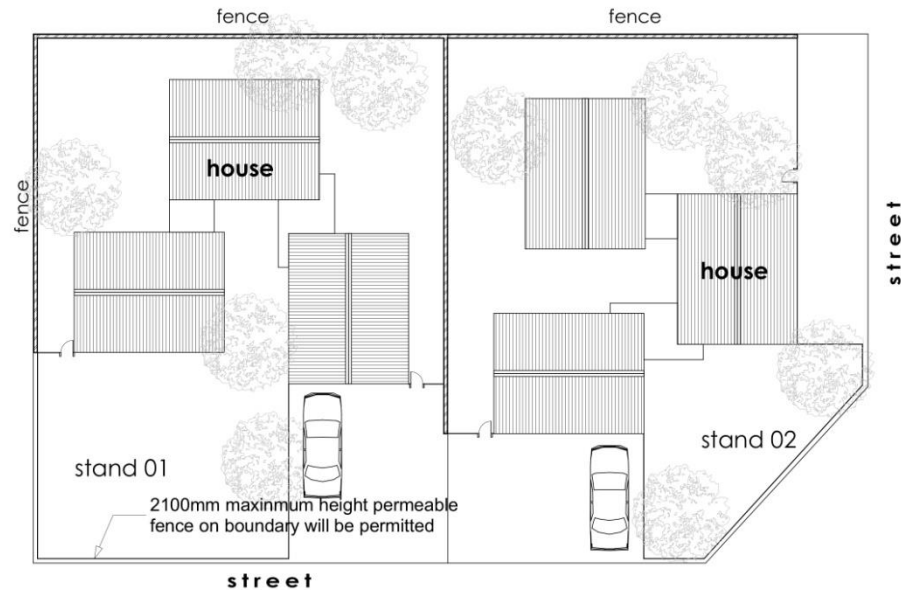
Option 1 below:

Internal boundary walls only, 2.1m high.



Option 2 below:

Internal boundary walls maximum 2.1m high and maximum 2.1m high permeable fence on street boundary.



Option 3 below:

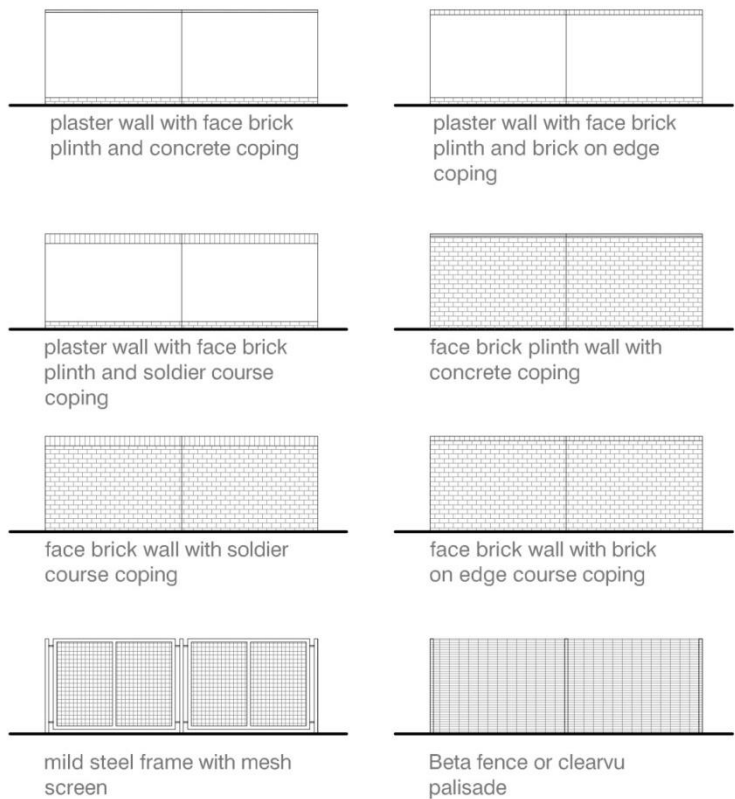
Internal boundary walls, 2.1m high with 1m maximum high solid wall on street boundary.

6.1.2 Internal boundary walls must adhere to the following:

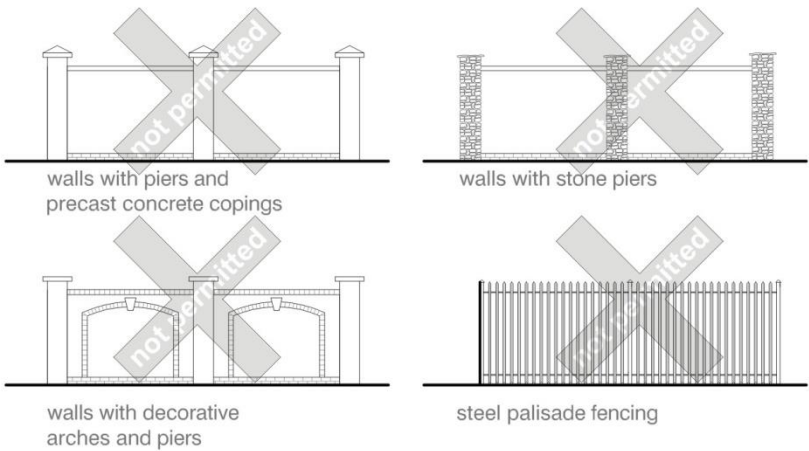
- Face brick/selected with roller or soldier course
- Face brick/selected with pre-cast concrete coping
- Plastered brick, with face brick plinth
- Plastered brick, with pre-cast concrete coping
- Plastered brick, with plastered concrete coping
- All boundary walls to have face brick plinth walls

A continuous transparent fence may be allowed, such as "Beta Fence" or "Clearvu", but with the neighbour's approval. Drawings of a typical portion must be furnished for approval.

Any other proposed transparent fence must be submitted for approval to WODAC and must be simple, understated and rectilinear in design and the principle of a transparent fence must be approved by the neighbour.



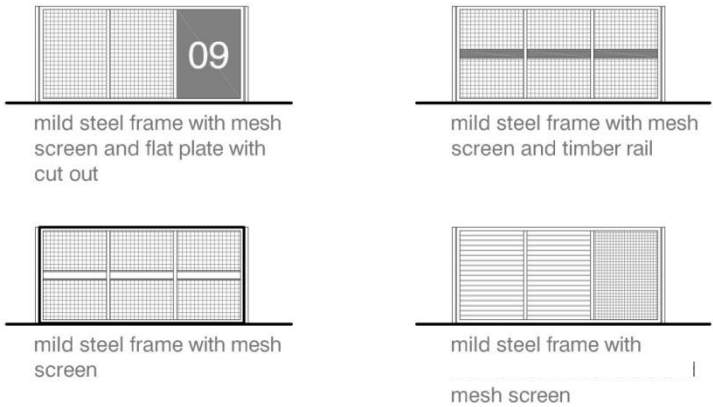
Recommended internal boundary wall types



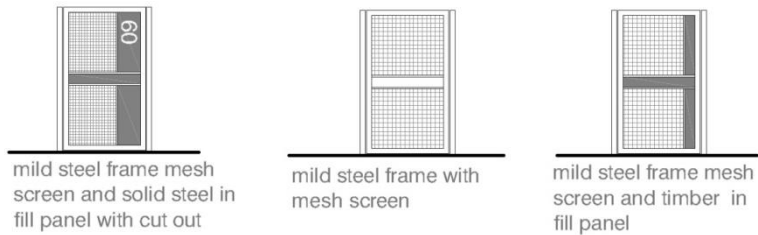
Boundary walls not permitted – overly decorated.

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| 6.1.3 | Boundaries adjacent to green zones: It is compulsory to only have permeable fences on boundaries adjacent to green zones. Solid boundary walls will only be permitted to screen services on these boundaries. |
| 6.1.4 | Gates: Gates are limited to very understated and simplistic designs, rectilinear in form and |

profiles.
They may consist of or a combination of, steel, rectangular shape or square shape steel mesh, "Mentis Grating".
No decorated gates will be permitted, depicting any graphics, unless it is the stand number in simple font.
Electric fence to be integrated into the gate design and not off the shelf installation.
Swimming pool gates to adhere to guidelines and NBR regulations.



Recommended gate designs for double swing gates.



Recommended gate designs pedestrian gates.

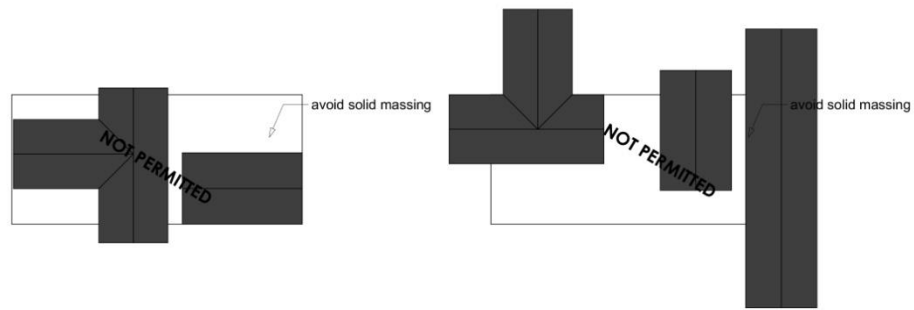
6.1.5 Screens and shutters:
As with gates, screens and shutters should be simplistic, functional and made from simple rectilinear profiles from either steel, composite timber or a combination thereof.
Shutters must be functional and detailing is critical.



Examples of properly designed screens and shutters

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| | | | |
| 6.2 | | | Street boundary walls and fences: |
| | | 6.2.1 | <p>Res 1stands:</p> <p>Solid brick wall or permeable.</p> <p>From ground to 2.1meter, or higher than 1 meter but limited to 2.1 meters it must be permeable (see examples 8.1.2).</p> |
| | | 6.2.2 | <p>Res 3 stands:</p> <p>Internal street boundaries for res 3 stands are allowed but may not exceed 2.1 meter in height.</p> |
| | | 6.2.3 | <p>Res 3 stands perimeter fencing:</p> <p>Where Res 3 complexes front a public road, perimeter fences must be permeable, but necessary steps taken to screen yard areas so it is not visible from the road.</p> <p>Where Res 3 complexes are adjacent to other stands, a 2.1 meter high solid perimeter boundary wall is permitted.</p> |
| 6.3 | | | Screen walls: |
| | | 6.3.1 | <p>To create some privacy, limited screening will be permitted on the street boundaries, extending for no more than 50% of the length of the nearest boundary parallel to the wall.</p> <p>To screen laundry and service yards, limited screening will be permitted, not exceeding 50% of the length of the nearest boundary parallel to the wall.</p> <p>Screen wall construction to conform to same construction and finishing rules as boundary walls.</p> |
| 6.4 | | | Items allowed and not allowed for the construction of boundary walls and screen walls: |
| | | 6.4.1 | <p>No decorative copings - only rectilinear and continuous allowed</p> <p>If walls are to be plastered, there must be a plinth from face brick at least 2 courses above natural ground level to prevent dirt and peeling of paint</p> <p>All face brick work must be neatly finished.</p> <p>Boundary walls must be 220mm min. width and constructed as per National Building – Regulations in terms of expansion joints and structural stability.</p> <p>No decorative boundary wall will be approved.</p> <p>Should the owner be the first person to construct a boundary wall he/she is responsible to finish the wall on both sides.</p> <p>Detail of storm water outlets through boundary walls must be shown on the detailed plans submission stage - no visible PVC pipes will be allowed. It must either be a constructed rectilinear opening or a galvanised/stainless steel pipe/rectangle detailed by the architect for approval by WODAC.</p> <p>Top of all boundary walls must be properly waterproofed, but under coping/roller or soldier course – no fibre reinforced waterproofing to be visible from above.</p> <p>Should any boundary wall form part of a retaining wall (holding back soil exceeding 1 meter), a structural engineer must furnish a design and appropriate vertical waterproofing and weep hole details must be furnished. Weep holes to be galvanised spouts and not PVC pipes.</p> <p>No precast concrete or predesigned panels will be permitted, such as “vibre crete”, fake</p> |

| | | | |
|----|-----|--|--|
| | | | <p>rock finished walls, palisade fencing or any other overly decorated wall, whether pre manufactured or constructed.</p> <p>Should a wall design require stub columns it must face the inside of the property and not the neighbour side.</p> <p>No razor wire, spikes or anything similar will be permitted.</p> <p>Electrical fencing will only be permitted if a concept design is submitted for approval and it must be designed in such a way that it is not visible. For example if mounted on walls it must be horizontally mounted or if on a permeable fence the bobbins must be concealed with posts.</p> <p>Electric fencing will be allowed on the street side of the house but must be an integrated part of the design.</p> |
| 7. | | | SWIMMING POOLS |
| | 7.1 | | Swimming pools must be rectilinear/square in shape. And must conform to the National Building Regulations in terms of safety requirements. |
| | 7.2 | | Natural filtration pools are encouraged. |
| | 7.3 | | Edge detailing of swimming pools (no fake rock, or fake stone tiles to be used for this). |
| | 7.4 | | Swimming pools are not allowed to encroach on building lines. |
| 8. | | | BUILDING FORM, STYLE AND CHARACTER |
| | 8.1 | | To ensure integration into the landscape, buildings must conform as far as possible to the contours of the site and where possible step down the contours. |
| | 8.2 | | Buildings are to be simple rectangular or composite rectangular and as far as possible be parallel to the street. |
| | 8.3 | | <p>Dwelling units should preferably be detached to avoid unnecessary large building forms (e.g. series of smaller scale rectilinear shapes tied together with links recommended.</p> <div data-bbox="433 1411 1421 1747"> <p>use rectangular shapes to define spaces</p> <p>concrete to be only links</p> <p>example 01</p> <p>use rectangular shapes to define spaces</p> <p>concrete to be only links</p> <p>example 02</p> <p>use rectangular shapes to define spaces</p> <p>concrete to be only links</p> <p>example 03</p> </div> |



8.4

Buildings are to be designed in such a fashion to ensure the optimum privacy for adjacent properties.

8.5

Not permitted:
Building styles such as Tuscan, Balinese, French Provincial or Colonial.
Porte Cochères.
Sculptures (e.g. lions, eagles etc. at entrance gates or on fences).

8.6

WODAC reserves the right to reject any design in part or totality should they feel it is not within the character the guidelines are attempting to achieve and the interest of the estate.

9.

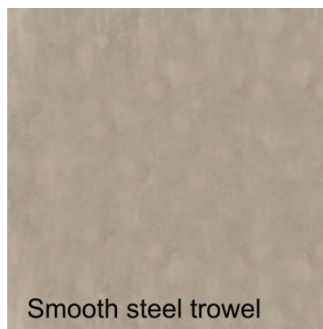
EXTERNAL WALLS

9.1

Walls of buildings and boundary walls shall be of masonry construction and are to be plastered and painted (acrylic or cement based), Face brick.
No concrete block permitted

9.2

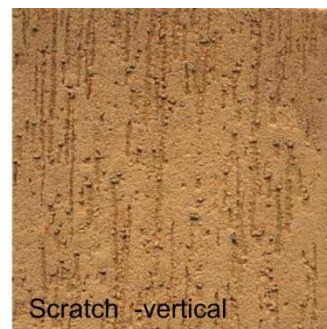
Plaster finishes permitted:
Plaster - Smooth steel trowel, smooth sponge, or vertical scratched plaster.



Smooth steel trowel



Smooth sponge



Scratch -vertical


Permissible plaster finishes

Plaster not permitted:

Plaster effects such as swirl, Spanish plaster, decorative surrounds, decorative corner detailing etc.

Plastered walls must be painted.

170mm above natural ground level must be face brick to eliminate potential damp and

| | | | |
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| | | | dirt problems |
| | 9.3 | | <p>Face brick permitted: Only approved red face brick</p> <p>Face brick with neatly finished mortar joints (quality of joints <u>MUST BE</u> neat and of acceptable quality – WODAC must approve sample).</p> <p>Face brick bonds permitted:</p> <p>Stretcher, common and flemish bond only on wall surfaces and soldier and roller course allowed on top of walls and over openings.</p> <p>Face brick not permitted:</p> <p>Rock face textured or any other face brick which is overly textured or shades of yellow or cream face brick.</p> |
| | 9.4 | | <p>Other:</p> <p>Any alternative material must comply with the NBR and must be clearly shown on sketch plans and detailed plans and must be approved by WODAC.</p> <p>Alternative materials will only be considered for approval should WODAC consider this as a positive contribution towards the estate and not in conflict with the guidelines.</p> |
| | 9.5 | | <p>Stone walls are permitted with the following constraints:</p> <p>Note: stone walls must be clearly shown on submitted plans.</p> <p>Stone walls must be isolated design elements (e.g. complete wall) and not used as decorative cladding around posts, windows and corners or on other walls.</p> <p>Stone walls must have pre-cast, in-situ concrete copings or natural stone on top of wall.</p> <div data-bbox="394 1081 1401 1449">  </div> <p>Good examples of stone as base of building or as solid isolated portion: The key element in these designs is simplicity</p> |
| | | 9.5.1 | No artificial stone cladding will be allowed. |
| | | 9.5.2 | No corner cladding or accent on arches: |



Stone cladding on corners, arches and other elements not permitted

9.5.3 The following stone wall patterns are recommended:



Stone walls styles permitted: Dry pack and with mortar.
(surface to be flat and corners 90 degrees and crisp).

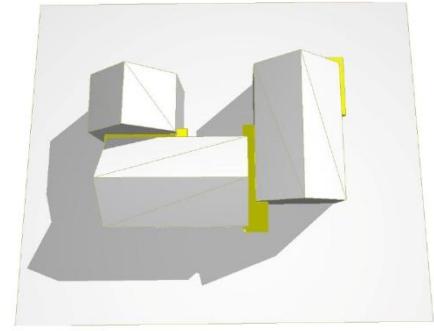
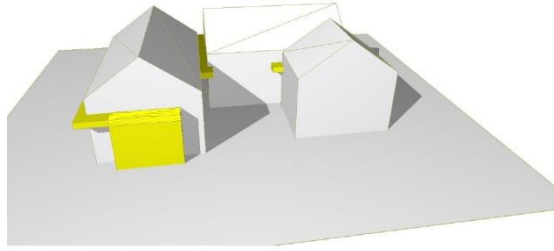
Any stone used must come from the site and no imported material may be used.

9.5.4 The following stone applications are prohibited:



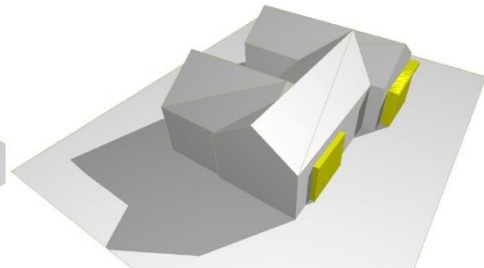
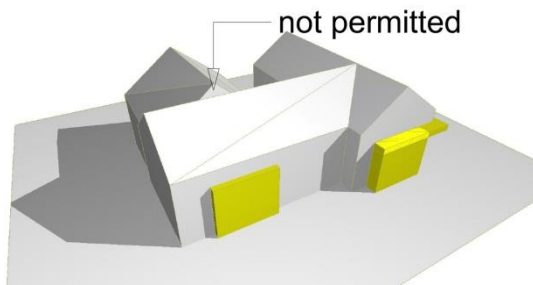
Stone walls not permitted: Artificial, carved in shapes, “riven” type walls

| | | |
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| 10. | | ROOFS – refer to SANS 10400 Roof Part L |
| | 10.1 | <p>The following roof types are allowed:</p> <p>Only double and single pitch roofs will be permitted</p> <p>Permissible pitch – Double pitch : between 26 to 35 degrees</p> <p>Permissible pitch – Mono pitch : between 26 degrees to 35 degrees</p> <p>Flat concrete roofs – must be covered with 100 thick chipped stone and no waterproofing visible</p> <p>Lean to roofs - 26 degrees - strong discretion by WODAC will apply in terms of architectural treatment thereof.</p> <p>It is recommended that the top of the wall of a mono pitch roof of the high part of the wall be interrupted with glass or a louver as a scale treatment device, to reduce height of brick work.</p> |
| | 10.2 | <p>Lean-to roofs will be allowed but strong discretion by WODAC will apply. As only roof tiles are allowed, visible lean to roofs must adhere to the same minimum angle as pitched roofs.</p> <p>Very low pitched lean-to or flat roofs with a <u>compulsory factory coated baked enamel</u> (e.g. Chromadek) may be used, but only if <u>not visible</u> from the street or adjacent property from eyelevel view. It must be hidden behind a parapet wall. The parapet side must face the street or adjacent property. The idea of this rule is that hidden flat metal roofs can be used to create links between larger portions of the building that has pitched roofs, but must be unobtrusive. These roofs may not be used excessively but only for smaller links between more substantial parts of the building or garages. If used on garages, it must have a parapet wall and the gutter must be away from the street or both streets if on a corner stand. Strict adjudication by WODAC will apply.</p> |
| | 10.3 | <p>Roofs over separate components must be isolated and separated with lean-to/ flat concrete roofs. Make use of SANS 10400 Part L for sufficient concrete details. Where concrete roofs are visible or used in single story residences should be covered with light brown coloured chipped stone. Waterproofing material may not be visually exposed.</p> |



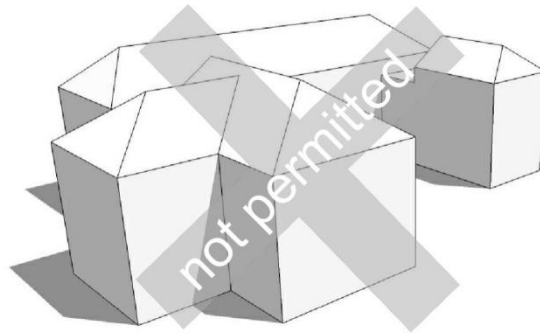
10.4

Roofs are allowed to cut into each other but may have valleys only and no hips. Secondary roofs joining main roofs must have gable ends.



10.5

Hipped roofs are not allowed.



10.6

Completely horizontal flat roofs, either concrete or lightweight, contained in a painted metal frame (such as an I-beam), will be permitted for "feature" roofs, but the internal roof must be concealed and have a factory coated baked enamel finish (e.g. Chromadek). Rainwater spouts must be simplistic designed spouts and not unpainted PVC pipes.



Examples of concealed flat roofs used as “features”.

Completely horizontal flat cantilever concrete slabs will be permitted (not exceeding 255mm in thickness), and must be provided with a rainwater drip. Rainwater spouts must be simplistic designed spouts and not unpainted PVC pipes.



Examples of flat concrete cantilever roofs.

10.7

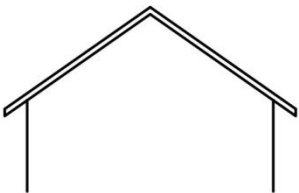
Sky lights must be out of sight from eye level views.

10.8

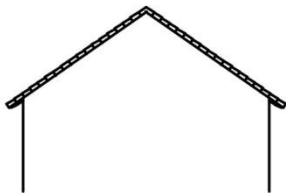
Roof windows and clerestory windows must be simple and understated in design and no ornamental windows will be permitted

10.9

Barge boards and verge tiles: Continuous straight barge boards either from pressed metal, painted angle metal or alternative approved. Non decorative verge tiles.



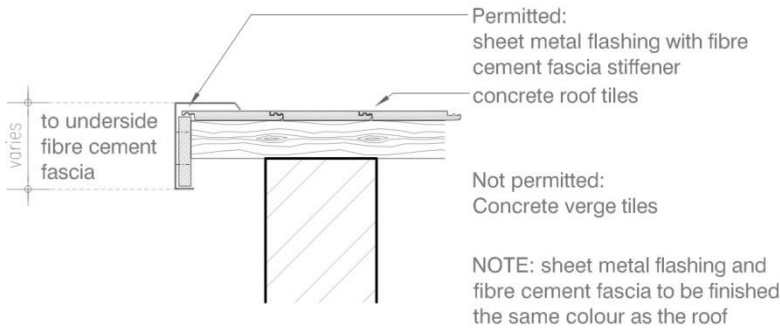
Barge board



Verge Tiles

10.10

Typical recommended detailing for barge flashing and ridge tile:



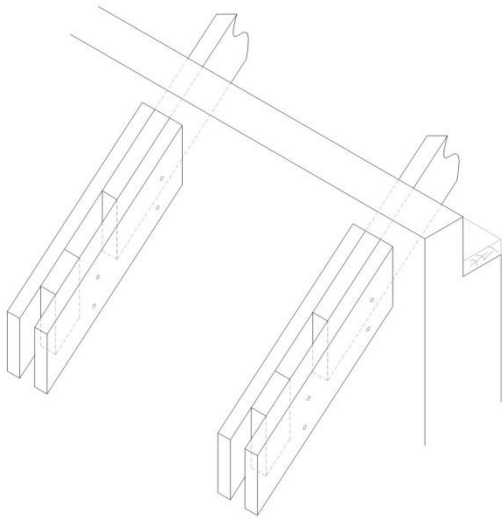
Section through gable end.

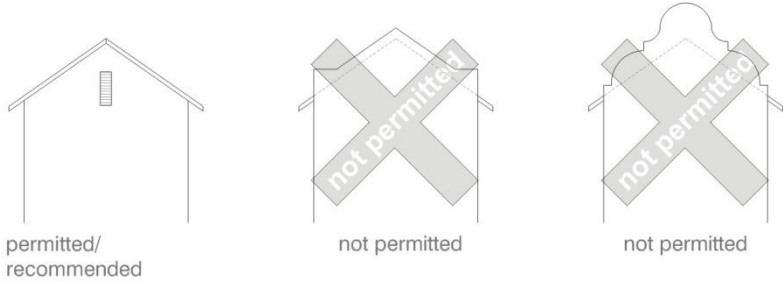
Ridge tiles must be "V" ridge type constructed with dry-ridge system and not the "tapered" ridge type:

10.11

Roof overhangs:

All visible truss protrusions outside exterior face of house exceeding 600mm to be a sandwich construction of 3 layers, of which centre can be hollow with packing pieces.



| | | |
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| | 10.12 | <p>Gable ends:</p> <div style="text-align: center;">  <p>permitted/ recommended not permitted not permitted</p> </div> <p>Gable ends must be simplistic and not overly decorated or a specific style. No parapet on gable end permitted. Gable ends and gable roofs used for entrance patio structures narrower than 3 meters will not be permitted.</p> |
| | 10.13 | Roof finishes: see point 17.5 |
| 11. | | PAVED AREAS, DECKS, PATIOS AND VERANDAHS |
| | 11.1 | Paved areas and decks will be limited to 25% of the area of the stand. |
| | 11.2 | No artificial stone paving and stone edge detailing will be permitted. Only rectangular/square shapes permitted in colours of charcoal, grey and tan. Cobbles are preferred. |
| | 11.3 | No roof structure will be permitted over balconies on first floor of proposed units, Res 1 & Res 3 |
| 12. | | PERGOLAS |
| | 12.1 | Pergolas should be constructed from hardwood or painted steel or a combination thereof and are to be made from rectangular sections as far as possible. |



Examples of good pergolas and post detailing

12.2

It is recommended that metal connectors (of mild steel or other material not less than 4 mm thick unless tubular in section) may be used, to articulate connections.

12.3

Natural gum poles will not be permitted.

12.4

Pergolas may not be covered with shade netting, poly carbonate sheeting or metal sheeting. The idea is that pergolas are semi-open structures and covered with properly designed timber or metal slats.

12.5

Wattle laths may only be used if the ends are not visible and contained within a steel or timber frame.



Pergola: Wattle laths contained in a frame

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| 13. | | | VERANDAS AND CARPORTS |
| | 13.1 | | Veranda and car port roofs may be constructed from lightweight materials but the same rule applies as for pergolas. |
| | 13.2 | | Fixed or movable louvers should be hidden behind a parapet wall or I-beam. (WODAC to approve method) No plastic, shade cloth, metallic awnings, screens or horizontal aluminium slats coverings of any sort will be permitted. |
| | 13.3 | | Verandas and car ports may not be enclosed except with the use of canvas or louvres (or other approved material) awnings. |
| 14. | | | BALCONIES AND BALUSTRADES |
| | 14.1 | | A variety of balustrades and railings to verandas and balconies will be accepted but must be approved by the WODAC. The design of balustrades must be simple and understated. Overly decorated or curvilinear designs will not be permitted. |
| | 14.2 | | Balconies must be designed not to overlook the private areas of any neighbouring property and WODAC may require additional information in this regards should, it be in the interest of protecting the privacy of a neighbour. |
| | 14.3 | | Rainwater from balcony must be addressed. |
| 15. | | | DOORS AND WINDOWS |
| | 15.1 | | Permitted finishes: Aluminium, Powder coated (see sustainable design for thermal break aluminium). |
| | 15.2 | | No arch-like forms or shapes are allowed – all forms to be square. NO diagonal lines, Doors & Windows. |
| | 15.3 | | Large window openings must be recessed where possible to provide both solar gain protection and differentiation of volumes. |
| | 15.4 | | The proportion of all windows is to be such that there is either a square or rectangular proportion for punctuation. |
| | 15.5 | | Large glass areas may be subdivided in a variety of ways with either horizontal or vertical expression. |
| | 15.6 | | No cottage pane windows are allowed. |
| | 15.7 | | Win-blocks will not be permitted. |
| | 15.8 | | Boarded or louvered hardwood (painted or natural) shutters may be installed in cavities or mounted on the face of exterior walls. Shutters may be hung on hinges or sliding but must be operational. |
| | 15.9 | | Garage / External doors: Only horizontally slatted timber or aluminium allowed. No decorated or pattern type doors will be permitted. |

No steel rollup doors permitted other than on res 3 houses. In this case the door must have a factory coated finish that matches the colour of gutters and downpipes.

15.10

Not permitted:
Circular windows and doors, including arches.
Overly decorated relief pattern doors of animal graphics or similar.
Diagonal lines.

16.

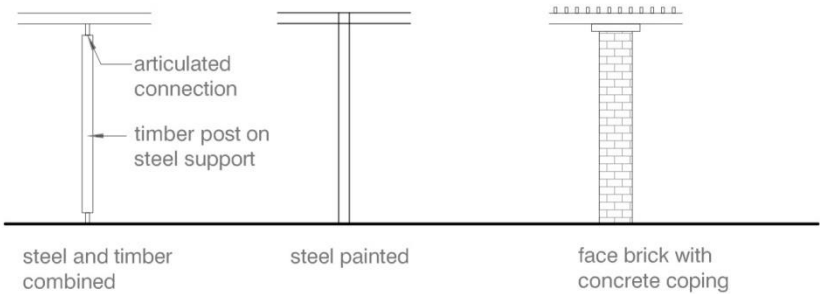
ARCHES AND COLUMNS

16.1

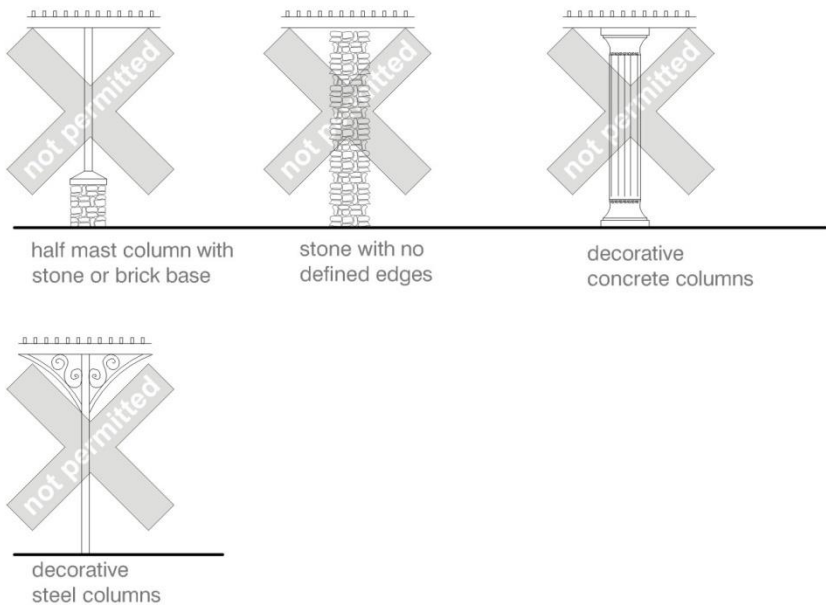
No arches are allowed.

16.2

Only simplistic contemporary columns may be used. No classical or any other decorative columns will be allowed, whether carved, precast, in-situ concrete or any other material.



Column types recommended and permitted.



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| | | | Column types not permitted. |
| 17. | | | COLOUR SCHEMES |
| | 17.1 | | The choice of colours and textures is of paramount importance to establish an appropriately unique identity and visual connection with the developments natural features. Furthermore it will create continuity within the estate. |
| | 17.2 | | Walls: |
| | | | The recommended colour range for walls is shades of khaki, light browns, light greys and any other colour that is reflected in the natural landscape. Colour to be approved by WODAC |
| | 17.3 | | Face brick: |
| | | | The recommended colour range for face brick is terracotta, red brick and shades of red brick. No face brick with any tone of yellow or brown will be permitted or with 'rock face' texture. Face brick specification and manufacturer plus a photographic image must be shown on the detailed plans. Face brick texture must either be Travertine or Satin finish. |
| | 17.4 | | Roofs/Facias: |
| | | | Tiles: only "Coverland Elite", Farmhouse Red permitted or "Marley Modern Antique Terracotta". No profiled tiles permitted. Lean-to roofs ("link" roofs behind parapets): Dove grey factory coated finish (e.g. Chromadek). |
| | 17.5 | | Timber: Natural or stained wood preservative or creosote. |
| | 17.6 | | Steel and aluminium: Shades of grey, black or warm-grey (no blue-grey or a 'cold' greys permitted). Natural aluminium, Bronze, Stainless steel. |
| | 17.7 | | Gutters and downpipes: Aluminium seamless gutters OG domestic 125mm to have dove grey factory coated finish (e.g. Chromadek) |
| | 17.8 | | Very bright colours such as lime green, oranges, reds, yellows, and neon type colours are not permitted. |
| | 17.9 | | The recommended colour palette must be shown on the sketch plans, together with manufacturer's codes. No deviation will be allowed from initial colours. Should colours be changed at later stage WODAC must be informed and the new colours must be approved. |

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| 18. | | SIGNAGE |
| | 18.1 | All property owners must provide discrete but visible street numbers on the exterior street boundaries. This must be incorporated with the design and shown on the sketch plans submitted for approval. |
| | 18.2 | <p>No other exterior signage such as house number will be allowed. Standard Signage can be used or approved variation there off.</p>  |
| 19. | | EXTERIOR LIGHTING |
| | 19.1 | No flood lighting will be permitted except for security lights which may only be used in an emergency. All outside lighting should be directed away from adjacent stands. |
| | 19.2 | The light selection criteria should be "to see the pool of light but not the source of light" i.e. lights should shine down or be of the hooded eyelid type. |
| | 19.3 | Freestanding external lights should be of the simple bollard type and overly decorated classical type designs will not be permitted. |
| | 19.4 | Lights positions should consider privacy of adjacent properties |
| | | <p>Light fittings must be simplistic contemporary fittings and no overly decorated fittings such as classical appearance type fittings with paint effect finishes:</p> <p>Only permitted finishes of external lights: Black, aluminium, matt stainless steel, shades of grey.</p> |
| 20. | | SECURITY |
| | 20.1 | <p>No folding/collapsing steel security doors, grilles or gates for security purposes will be permitted over door openings unless they can be stowed out of view in cavities within the walls. (this will only be allowed if installed inside) Burglar bars over windows will be permitted only on the inside of openings and rectilinear in design.</p> <p>No "Trellie Door" or similar type will be permitted. External security door to conform to same design as exterior gates. No diagonal lines.</p> |
| | 20.2 | Shutters, as described under doors and windows above, may be used as a security measure on the exterior of buildings or built into cavities. |

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| | 20.3 | | External burglar bars will not be permitted. |
| 21. | | | LAUNDRY, REFUSE & WENDY HOUSES, ETC. |
| | 21.1 | | To be read in conjunction with screen walls. |
| | 21.2 | | Laundry drying areas and refuse bins must be completely enclosed, with walls or screens which complement the character of the house. The walls must be high enough to provide the necessary screening. |
| | 21.3 | | No free standing structures such as wendy houses, temporary carports, play houses, jumping castles or any other structure that is not approved on the detailed plans will be permitted. Applications may be considered, and approval granted as per discretion of WODAC. |
| 22. | | | SERVICES AND UTILITY INSTALLATIONS |
| | 22.1 | | PVC or plastic water tanks may only be used if concealed and painted in the same colour as the adjacent wall or buried. Only traditional galvanised metal water tanks may be exposed on condition that the tank and supporting structure is sensibly incorporated with the design of the main structure. The approval of the latter is of the sole discretion of WODAC. |
| | 22.2 | | All exposed pipes and services, is to be concealed and blend in with the design – no bright colours such as blue PVC permitted. |
| | 22.3 | | No pipe work is to be attached to the exterior of a building at a height greater than 1m above ground level, unless properly concealed. |
| | 22.4 | | Approved solar panels must be incorporated sensibly in the design and if required the sub structure must be designed. The installation with sub structure must be shown on detailed plans for approval. No bright colour piping to be visible and pipe work to be concealed as far as possible. |
| | 22.5 | | Television aerials and other aerials or devices may only be fixed out of sight and must be concealed and not be visible from the street or adjacent properties, unless no other option is practical – must be shown on detailed plans for approval. |
| | 22.6 | | All geysers, gas cylinders, heat pumps or other service elements must be concealed from view. |
| | 22.7 | | Heat pump installations must consider noise pollution (neighbours). |
| 23. | | | SUSTAINABLE DESIGN |
| | 23.1 | | All designs <u>must</u> comply with SANS204:2011, SANS 10400X AND SANS10400XA. |
| | 23.2 | | Passive design: Designers are encouraged to incorporate basic passive design devices in the design of the building, such as: |

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| | | <p>Predominant north orientation.</p> <p>Using non-habitable space to fend east and west facades.</p> <p>Large roof overhangs (see PH factor SANS 204:2011) - to allow sun into spaces in winter and block sun out in summer.</p> <p>Use pergolas and other sun shading devices.</p> <p>Deep recessed windows for large glazed areas, to reduce solar gain.</p> <p>Use of cavity walls with insulation.</p> <p>Proper roof insulation.</p> <p>Use vegetation and trees to reduce solar gain in summer.</p> <p>Under floor insulation.</p> <p>The use of extraction chimneys.</p> <p>Use thermal break aluminium frames.</p> |
| | 23.3 | <p>Water saving:</p> <p>Use of grey water systems to flush toilets and for irrigation.</p> <p>Traditional galvanised water tanks can add to achieve an original Free State character in terms of architectural language.</p> <p>Plant only vegetation species that require very little water.</p> |
| | 23.4 | <p>Generators:</p> <p>Generators must be used sensible and must be integrated into the design so that it is soundproof.</p> |
| 24. | | REFERENCES |
| | 24.1 | <p>References to Seven Dams: http://7dams.co.za/</p> <p>Stone walls on House in Locarno Switzerland : http://www.livingdesignhome.com/2012/06/modern-contemporary-stone-house-design/ (see 11.5, stone walls)</p> <p>Pergolas examples: Architecture SA, Nov/Dec 2008 (see 14.5, pergolas)</p> <p>House in Franschoek, planted pergola: Elle no64 (see 8.1.5, screens and shutters)</p> <p>Architects work incorporated in images:</p> <p>House Rosa: Wilkinson Architects (see 14.1, post detailing)</p> <p>House Behr: Wilkinson Architects/ Solo Architect (see 12.6, concealed roofs and cantilever roofs)</p> <p>Tokara Wine Estate: Van Biljon and Visser Architects (see 14.5, pergolas)</p> <p>House Basson: Wilkinson Architects (see 14.5, pergolas)</p> <p>House Waterfall Estate: Derek Britz Architect (see 8.1.5, screens and shutters)</p> |